

**NOTES:**  
 Drawing based on information provided by Promap.  
 Contractors to check all dimensions and locate any  
 services to be removed or relocated in advance of any  
 works to agreed dimensions only. Do not scale.  
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**Site Areas:**

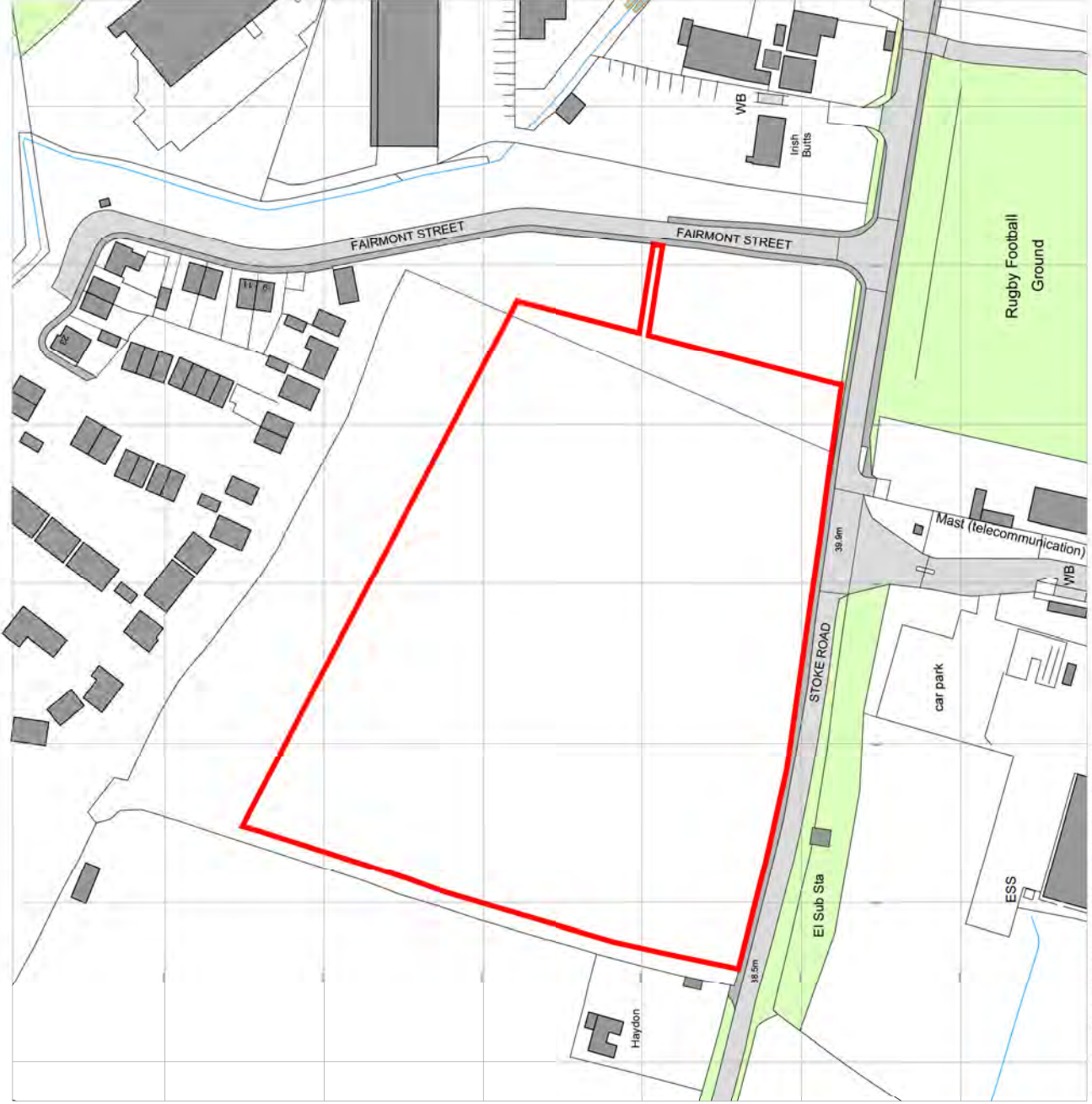
█ Extent of planning application  
 25.272m<sup>2</sup> / 2.533a



Drawing based and all information shown is based on OS  
 Promap data.



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Malvern View  
 Business Park



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Rev:	Date:	Description:	Drawn:	Checked:
 <b>S R DAVIS ARCHITECTS</b> Architects 27 St Nicholas Rd Birmingham B15 2SR T: 0121 465 3254 F: 0121 465 3232 Enquiries@sr-davis.co.uk www.sr-davis.co.uk		 <b>Chase CONSULTANTS</b> Project Stoke Road Bishops Cleeve	Title Site Location Plan	Drawn: Date: 07/2023 Scale: 1:1000 Date: 11/2023 Scale: 1:1000
Client <b>Chase CONSULTANTS</b> Project Stoke Road Bishops Cleeve				Title Site Location Plan
Drawn: JH Checked: SPD				Date No: 2119/PA/01

Notes:  
 Drawing based on a full topographical survey.  
 Corrections to correct overruns and necessary  
 adjustments in levels to the satisfactory standard.  
 Works to be carried out in strict accordance with  
 all relevant regulations.



**Legend:**

- Extent of planning application  
25.272m<sup>2</sup> / 2.53ha / 6.25acres
- Water main and rising main easement  
(as advised)
- Proposed access (vehicle and pedestrian) road,  
footway and cycleway to be provided by IM  
Properties / Spiree Homes as part of approved  
S279 works for the wider development
- Proposed highway access from Stoke Road
- Proposed cycle / pedestrian access from  
Fairmont Street



Green hatch indicates land put aside for agricultural right of way

 <p>S R DAVIS ARCHITECTS          Planning Dept          Castle Street, Bishops Cleeve          Leicestershire LE16 0EU          T: 01530 488 004          F: 01530 488 020          Email: sr@sr-davis.com</p>		<p>Client: Chase</p> <p>Project: Stoke Road Bishops Cleeve</p> <p>TIN</p> <p>Proposed Site Access Plan</p> <p>Drawn: JH Checked: RBD Date: 07/2019 Scale: 1:500/0A</p>
<p>Rev A: 01/11/23 Note updated to Client Instructions</p>		<p>NW SRD</p> <p>Drawn: [ ]</p> <p>Checked: [ ]</p>
<p>Doc No: 2119/PA/03</p> <p>Rev: A</p>		

NAME: \_\_\_\_\_  
 Drawing based on the architectural survey  
 Commissioned by the client and based on the  
 information provided by the client and the  
 client's representatives. Do not scale.  
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**Approximate Accommodation Schedule:**

- Unit 1 1,860m<sup>2</sup> (20,000sqft) + 232m<sup>2</sup> (2,500sqft) mezzanine
- Unit 2 930m<sup>2</sup> (10,000sqft) + 232m<sup>2</sup> (2,500sqft) mezzanine
- Unit 3 1,070m<sup>2</sup> (11,500sqft) + 465m<sup>2</sup> (5,000sqft) mezzanine
- Unit 4 930m<sup>2</sup> (10,000sqft) + 372m<sup>2</sup> (4,000sqft) mezzanine
- Unit 5 930m<sup>2</sup> (10,000sqft) + 372m<sup>2</sup> (4,000sqft) mezzanine
- Unit 6 1,860m<sup>2</sup> (20,000sqft) + 232m<sup>2</sup> (2,500sqft) mezzanine
- Unit 7 790m<sup>2</sup> (8,500sqft) + 372m<sup>2</sup> (4,000sqft) mezzanine

**Total GIA = 9,361m<sup>2</sup> (90,000 sqft) + 2,276m<sup>2</sup> (24,500sqft)**  
**Grand Total GIA (Building + Mezzanines) = 11,637m<sup>2</sup> (114,500sqft)**

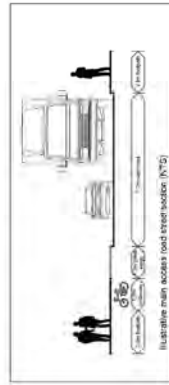
All floor areas are GIA and approximate only

**Approximate Site Area:**

Site area 25,272m<sup>2</sup> / 2.53ha / 6.25acres



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CD	02/02/24	Planners' comments incorporated.	MAF	SRD	Checked
B	25/02/23	Landscaping improved to reflect GIA change	MAF	SRD	Checked
A	30/03/23	Plotting & type layout completed.	NW	SRD	Checked

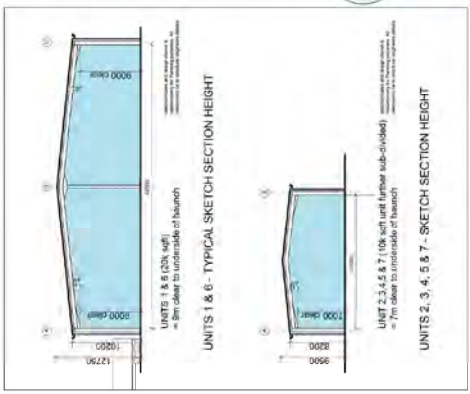
**S R DAVIS ARCHITECTS**  
 111, 113 & 115  
 Bishop's Cleeve, Stoke Road  
 Bishop's Cleeve, Northamptonshire NN16 9JH  
 T: 01454 498324  
 F: 01454 498233  
 Email: sr@sr-davis.co.uk

**Chase**  
 Project  
 Stoke Road  
 Bishop's Cleeve

TIN  
 Proposed Site Plan

Drawn: JF  
 Checked: SRD  
 Date: 07/02/24  
 Scale: 1:500

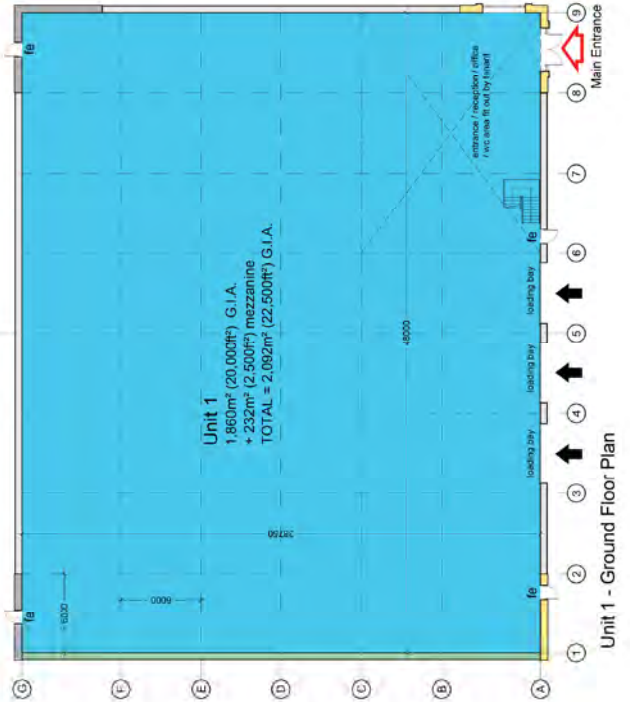
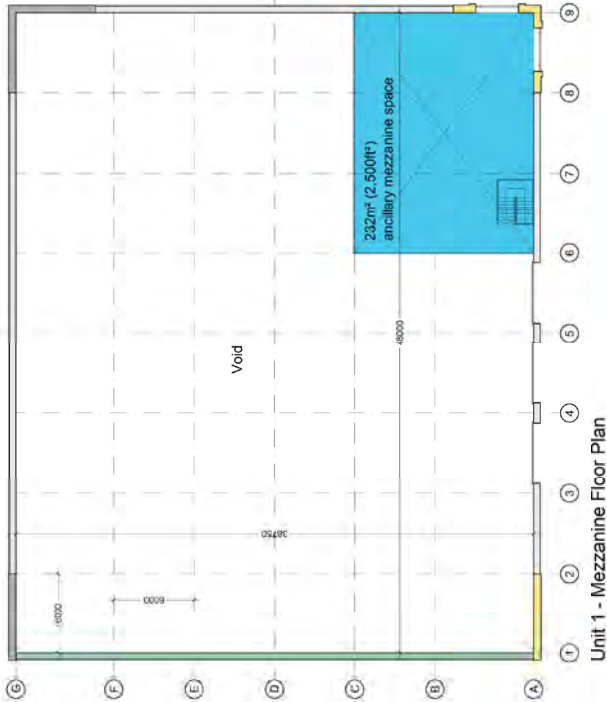
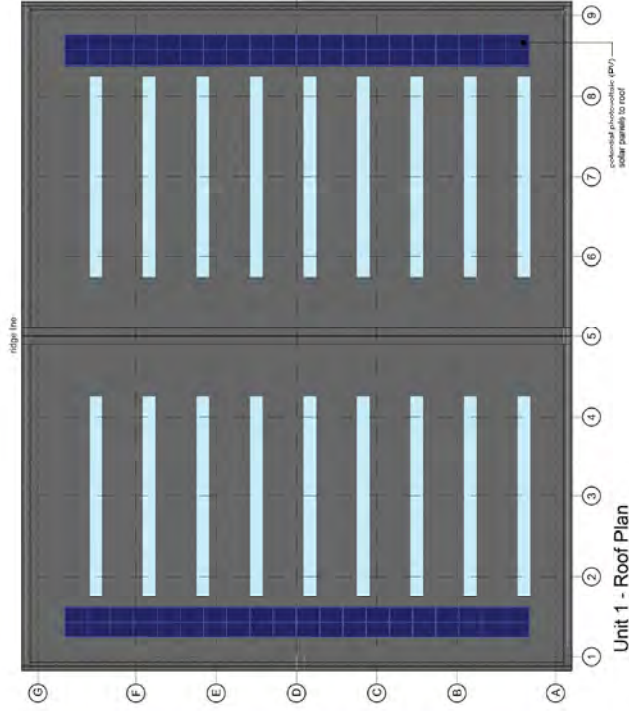
219/PA/05  
 D



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 Corrections to show dimensions and notify any discrepancies or errors to the company, immediately.  
 Work to figured dimensions only. Do not scale.  
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**Proposed Materials:**

- ① Profiled cladding including preformed corners (Colour: dark grey)
- ② Profiled cladding including preformed corners (Colour: light grey)
- ③ Flat panel cladding (Colour: feature colour to corner area)
- ④ Flat panel cladding (Colour: light grey / silver)
- ⑤ Flat panel cladding (Colour: dark grey corner area)
- ⑥ PPC aluminium framed double glazed doors / windows / skylight (Colour: dark grey)
- ⑦ Proprietary steel doorset (Colour: light or dark grey to match cladding)
- ⑧ Profiled roof cladding with proprietary rooflights (Colour: dark grey)
- ⑨ Secret fixed PPC aluminium flashings and trims (Colour: dark grey)
- ⑩ Up and over insulated sectional door (Colour: dark grey)
- ⑪ Profiled cladding including preformed corners (Colour: light green)
- ⑫ Profiled cladding including preformed corners (Colour: dark green)



Rev.	Date	Description	MAF	SRD
A	12/01/24	Roof orientation (colour) to highlight	Drawn	Checked

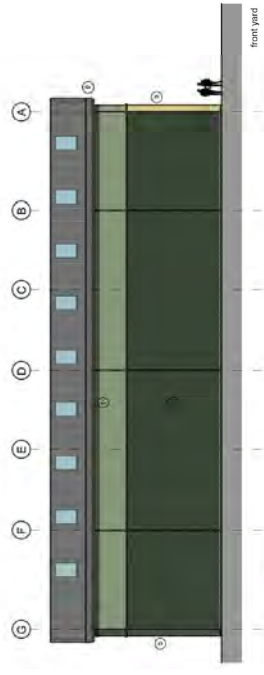
  

 SR DAVIS ARCHITECTS 100/102A Farmington Street Bishopscleeve, Bristol BS1 1JL T 01454 481234 F 01454 481232 sr.davis@sr-davis.co.uk	Client  Project Stoke Road Bishopscleeve T14 Unit 1 Plans As Proposed	Drawn Checked Date Issue	Drawn Checked Date Issue	
		21/09/24	21/09/24	21/09/24
		2119/PA/07	A	

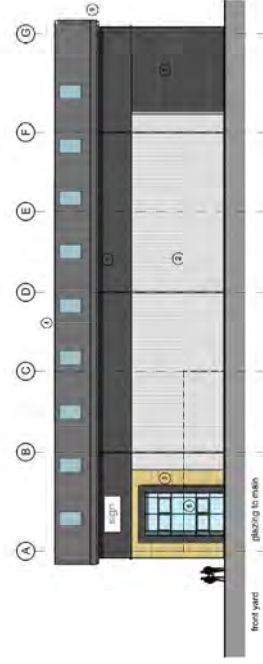
**Notes:**  
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**Proposed Materials:**

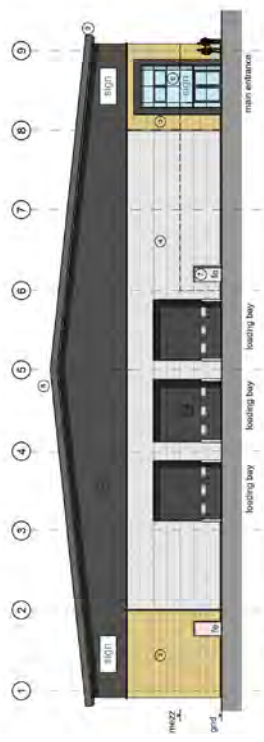
- ① Profiled cladding including preformed corners (Colour: dk1; grey)
- ② Profiled cladding including preformed corners (Colour: light grey)
- ③ Flat panel cladding (Colour: feature colour to corner area)
- ④ Flat panel cladding (Colour: light grey / silver)
- ⑤ Flat panel cladding (Colour: dk1; grey corner area)
- ⑥ PPC aluminium framed double glazed doors / windows / skylight (Colour: dk1; grey)
- ⑦ Proprietary steel covers (Colour: light or dark grey to match cladding)
- ⑧ Profiled roof cladding with proprietary rooflights (Colour: dk1; grey)
- ⑨ Secret fixed PPC aluminium flashings and trims (Colour: dk1; grey)
- ⑩ Up and over insulated sectional door (Colour: dk1; grey)
- ⑪ Profiled cladding including preformed corners (Colour: light green)
- ⑫ Profiled cladding including preformed corners (Colour: dk1; green)



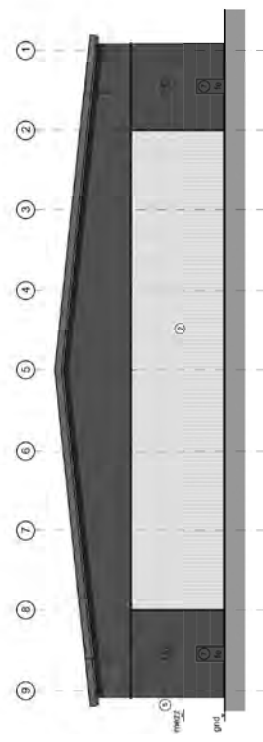
**Unit 1 - West Elevation  
(facing fields)**



**Unit 1 - East Elevation  
(facing new access road)**



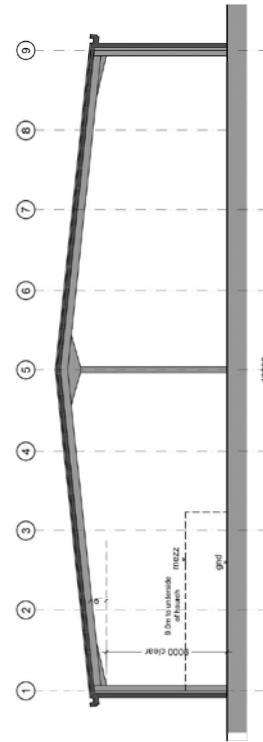
**Unit 1 - South Elevation  
(facing Stoke Road)**



**Unit 1 - North Elevation  
(facing Unit 2)**



**Key Plan (1:1250)**



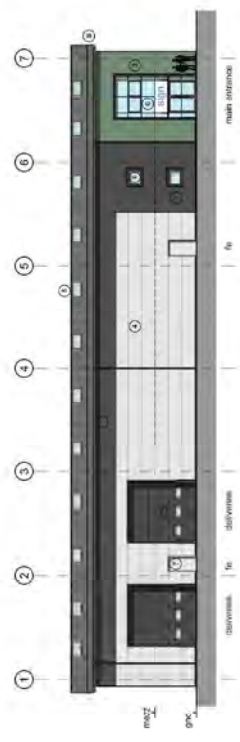
**Unit 1 - Illustrative Section**

<p><b>S R DAVIS ARCHITECTS</b>          Inspire Creativity          Elevate Ambitions          Forge Connections          Build Trust          T 014 488 8234          F 014 488 2222          info@sr-davis.co.uk</p>		<p><b>Chase Construction Limited</b>          Stoke Road          Bishops Cleeve          TEL</p>	
Client	SR DAVIS ARCHITECTS	Drawn	Checked
Project	Stoke Road Bishops Cleeve	Date	17/02/2024
Rev	Date	Description	Drawn
A	12/02/24	Final Construction (MARK) 'UNIT' (UNIT) 'VOLUME' ELEVATION 'MAP' BRD	Checked
Unit 1 - Elevations & Section As Proposed		Drawn by 2119/PA/08	Checked by 12/02/24

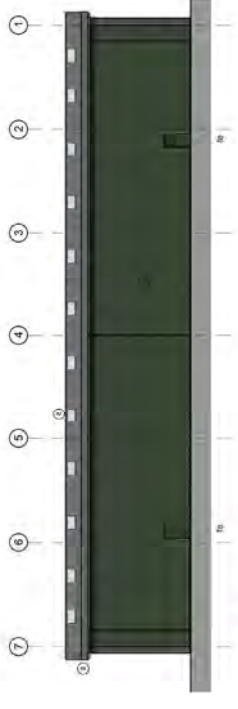
**Notes:**  
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**Proposed Materials:**

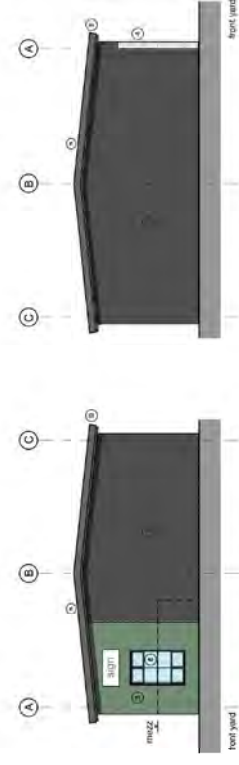
- ① Profiled cladding including preformed corners (Colour: dark grey)
- ② Profiled cladding including preformed corners (Colour: light grey)
- ③ Flat panel cladding (Colour: feature colour to corner area)
- ④ Flat panel cladding (Colour: light grey / silver)
- ⑤ Flat panel cladding (Colour: dark grey corner area)
- ⑥ PPC aluminium framed double glazed doors / windows / skylight (Colour: dark grey)
- ⑦ Proprietary steel concrete (Colour: light or dark grey to match cladding)
- ⑧ Profiled roof cladding with proprietary rooflights (Colour: dark grey)
- ⑨ Secret fixed PPC aluminium flashings and trims (Colour: dark grey)
- ⑩ Up and over insulated sectional door (Colour: dark grey)
- ⑪ Profiled cladding including preformed corners (Colour: light green)
- ⑫ Profiled cladding including preformed corners (Colour: dark green)



**Unit 2 - East Elevation**  
(facing new access road)



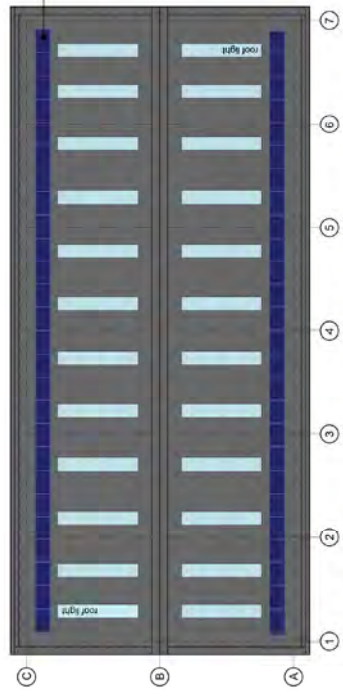
**Unit 2 - West Elevation**  
(facing fields)



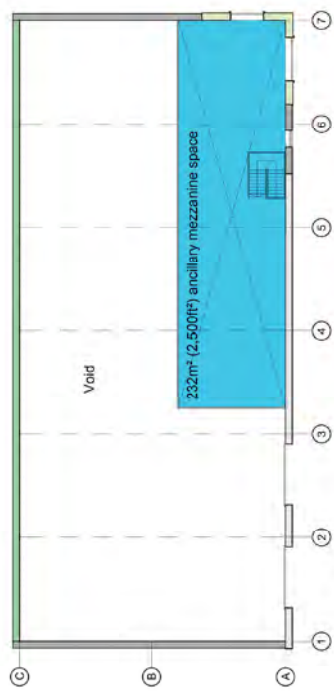
**Unit 2 - North Elevation**  
(facing public open space)

**Unit 2 - South Elevation**  
(facing Unit 1)

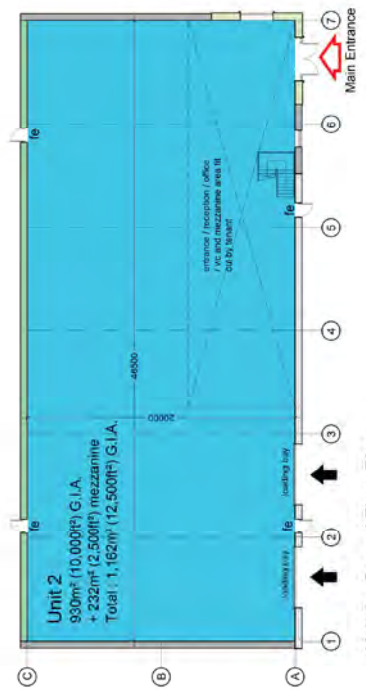
external photovoltaic (PV) solar panels to east and west facing section of roof



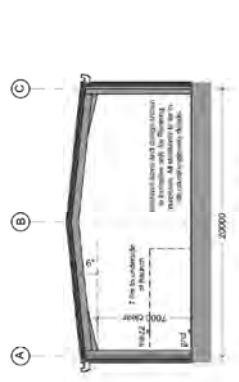
**Unit 2 - Roof Plan**



**Unit 2 - Mezzanine Floor Plan**



**Unit 2 - Ground Floor Plan**



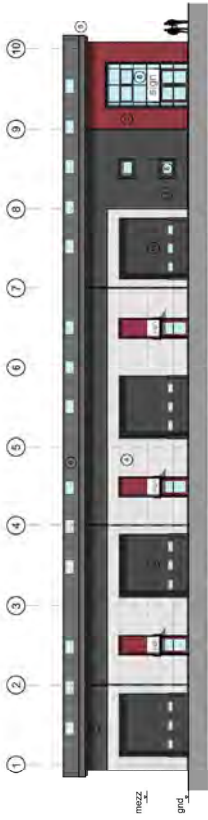
**Unit 2 - Illustrative Section**

<p>S R DAVIS ARCHITECTS        100/101 Farmington Street        Bishopscleeve, Bristol        T 01454 488234        F 01454 488232        sr@sr-davis.co.uk</p>		<p>Client        Project        Stoke Road        Bishopscleeve</p>	
Rev	Date	Description	Drawn / Checked
<p>SR DAVIS ARCHITECTS        100/101 Farmington Street        Bishopscleeve, Bristol        T 01454 488234        F 01454 488232        sr@sr-davis.co.uk</p>		<p>Client        Project        Stoke Road        Bishopscleeve</p>	
Drawn	Checked	SRD	SRD
Issue	at 2023/04/14 12:00:00		
Author	Planning		
Unit 2 - Plans, Section and Elevations As Proposed		Dwg No.	Rev.
2119/PA/09		A	

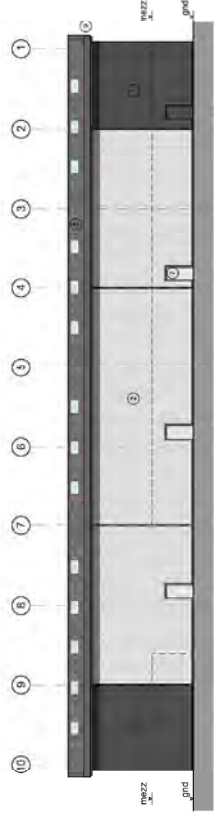
**Notes:**  
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**Proposed Materials:**

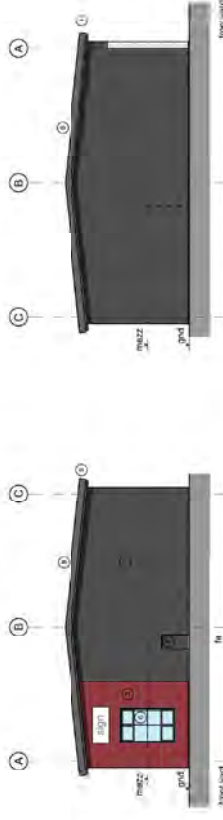
- ① Profiled cladding including preformed corners (Colour: dark grey)
- ② Profiled cladding including preformed corners (Colour: light grey)
- ③ Flat panel cladding (Colour: light grey / silver)
- ④ Flat panel cladding (Colour: light grey / silver)
- ⑤ Flat panel cladding (Colour: dark grey corner area)
- ⑥ PPC aluminium framed double glazed doors / windows / skylight (Colour: dark grey)
- ⑦ Proprietary steel concrete (Colour: light or dark grey to match cladding)
- ⑧ Profiled roof cladding with proprietary rooflights (Colour: dark grey)
- ⑨ Secret fixed PPC aluminium flashings and trims (Colour: dark grey)
- ⑩ Up and over insulated sectional door (Colour: dark grey)



Unit 3 - West Elevation  
(facing new access road)



Unit 3 - East Elevation  
(facing Unit 4)



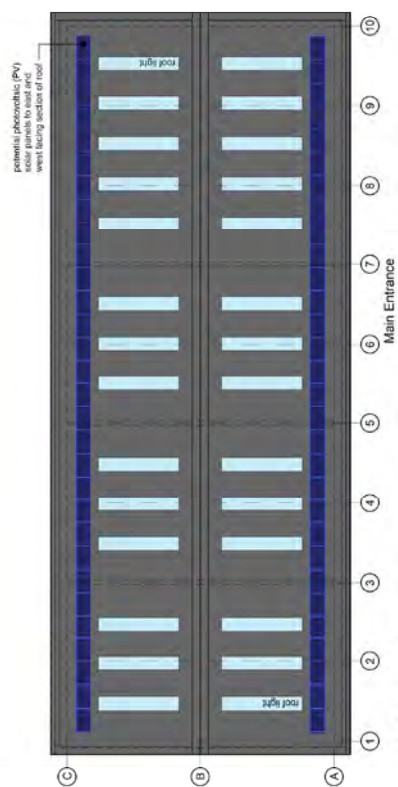
Unit 3 - South Elevation  
(facing Unit 7)



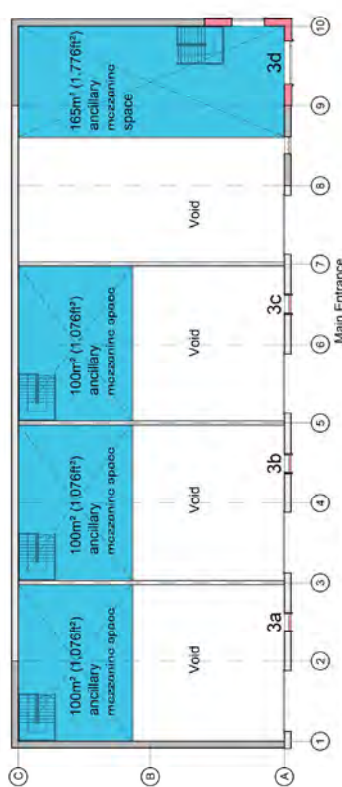
Unit 3 - North Elevation  
(facing public open space)



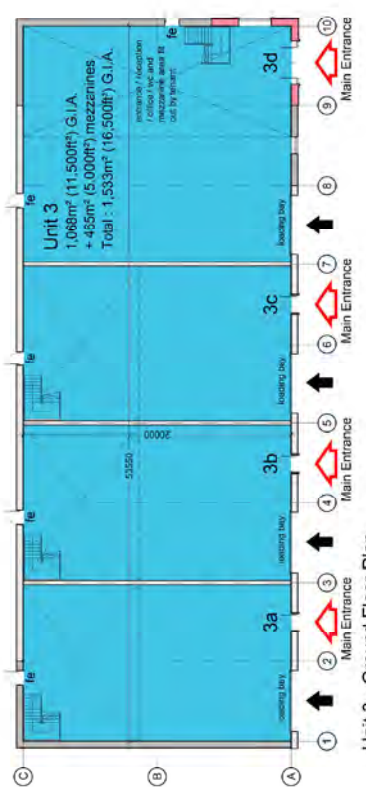
Key Plan (1:1250)



Unit 3 - Roof Plan



Unit 3 - Mezzanine Floor Plan



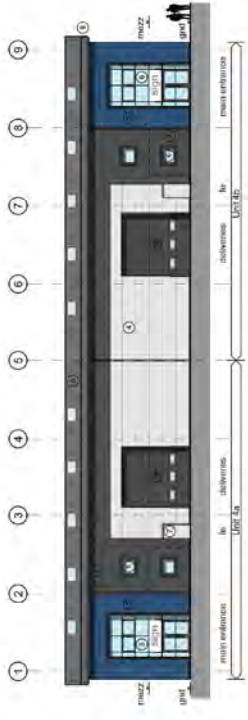
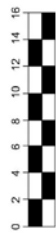
Unit 3 - Ground Floor Plan

<b>S R DAVIS ARCHITECTS</b> Registered Architects 100, The Arcade, Bishopscleeve, Bristol, BS1 1JF T 01454 483 8234 F 01454 483 2222 Consulting@sr-davis.co.uk	<b>Chase CONSULTANTS</b> Project Stoke Road Bishopscleeve	Client Chase
Drawn Checked Approved Planning	Date 08/2023 12/2023	Drawn / Checked 2119/PA/10
Unit 3 - Plans, Section and Elevations As Proposed		

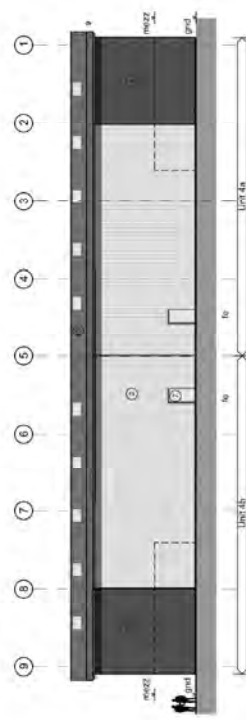
**Notes:**  
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**Proposed Materials:**

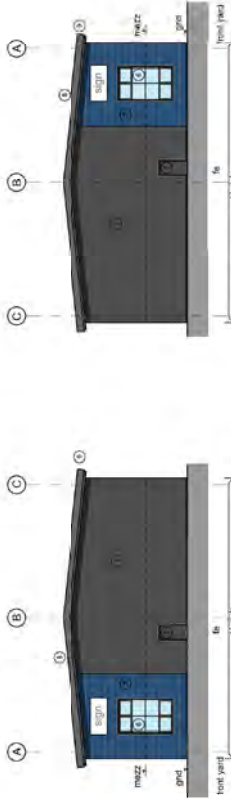
- ① Profiled cladding including preformed corners (Colour: dark grey)
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- ⑤ Flat panel cladding (Colour: dark grey corner area)
- ⑥ PPC aluminium framed double glazed doors / windows / skylight (Colour: dark grey)
- ⑦ Proprietary steel accents (Colour: light or dark grey to match cladding)
- ⑧ Profiled roof cladding with proprietary rooflights (Colour: dark grey)
- ⑨ Secret fixed PPC aluminium flashings and trims (Colour: dark grey)
- ⑩ Up and over insulated sectional door (Colour: dark grey)



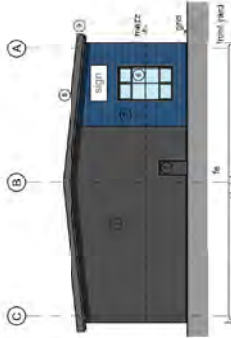
**Unit 4 - East Elevation**  
 (facing new access road)



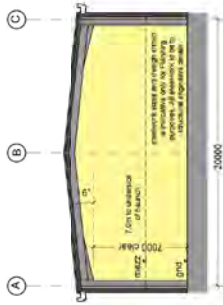
**Unit 4 - West Elevation**  
 (facing Unit 3)



**Unit 4 - North Elevation**  
 (facing public open space)



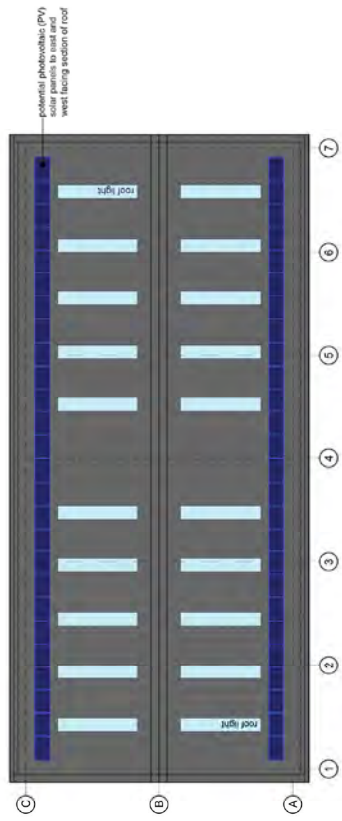
**Unit 4 - South Elevation**  
 (facing Unit 7)



**Unit 4 - Illustrative Section**



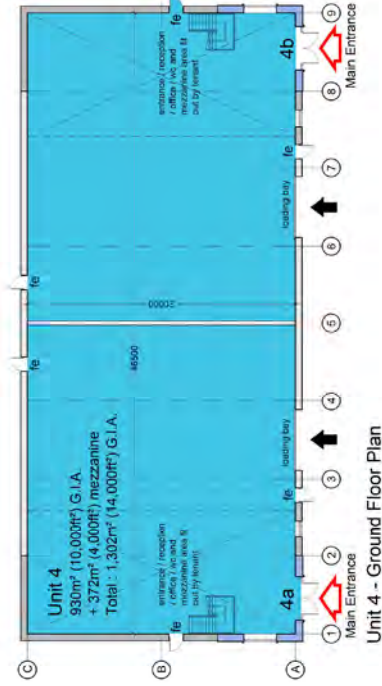
**Key Plan (1:1250)**



**Unit 4 - Roof Plan**



**Unit 4 - Mezzanine Floor Plan**



**Unit 4 - Ground Floor Plan**

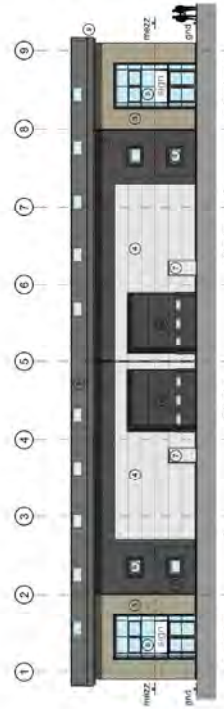
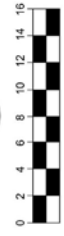
<b>S R DAVIS ARCHITECTS</b> Inspire Good Architecture for People and Places 110 York T 011 493 8234 F 011 493 2222 Consulting@sr-davis.co.uk	<b>Chase CONSULTANTS</b> Project Stoke Road Bishops Cleeve TEL Unit 4 : Plans, Section and Elevations As Proposed Dwg No. 2119/PA/11	Client Drawn / Checked Date 08/2023 Scale 1:2000(A)
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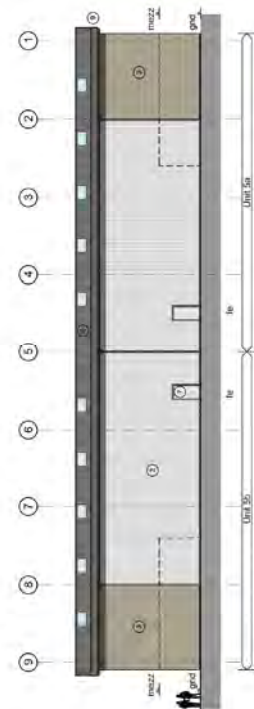
**Notes:**  
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**Proposed Materials:**

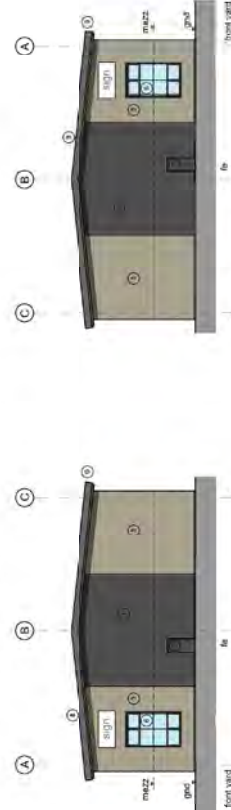
- 1) Profiled cladding including preformed corners (Colour: dark grey)
- 2) Profiled cladding including preformed corners (Colour: light grey)
- 3) Flat panel cladding (Colour: feature colour to corner area)
- 4) Flat panel cladding (Colour: light grey / silver)
- 5) Flat panel cladding (Colour: dark grey corner area)
- 6) PPC aluminium framed double glazed doors / windows / skylight (Colour: dark grey)
- 7) Proprietary steel corners (Colour: light or dark grey to match cladding)
- 8) Profiled roof cladding with proprietary rooflights (Colour: dark grey)
- 9) Secret fixed PPC aluminium flashings and trims (Colour: dark grey)
- 10) Up and over insulated sectional door (Colour: dark grey)



**Unit 5 - West Elevation**  
(facing Unit 4)



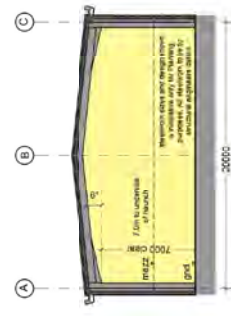
**Unit 5 - East Elevation**  
(facing Fairmont Street)



**Unit 5 - North Elevation**  
(facing public open space)

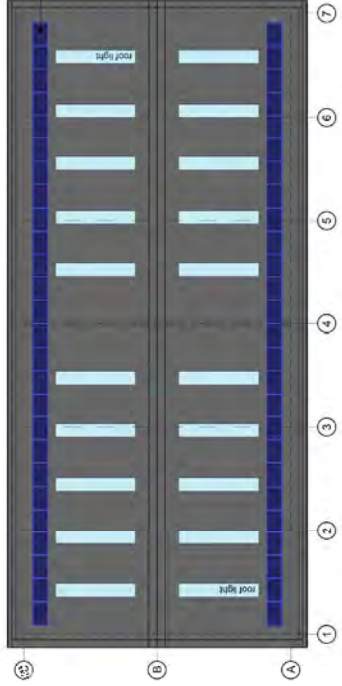


**Unit 5 - South Elevation**  
(facing Unit 6)



**Unit 5 - Illustrative Section**

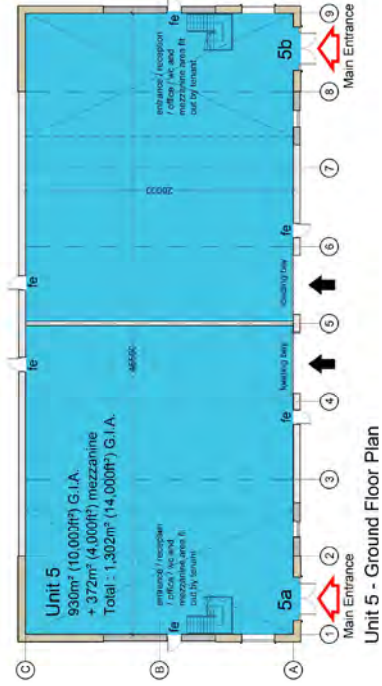
potential photovoltaic (PV) solar panels to east and west facing section of roof



**Unit 5 - Roof Plan**



**Unit 5 - Mezzanine Floor Plan**



**Unit 5 - Ground Floor Plan**



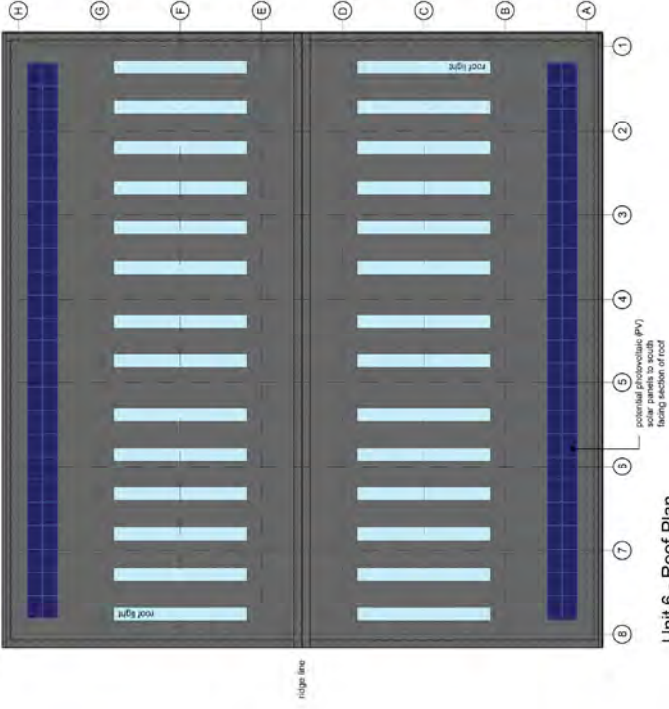
**Key Plan (1:1250)**

Client	Chase COMMERCIAL	Drawn	Checked
Project	Stoke Road Bishops Cleeve	Date	18/02/2014
Architect	S R DAVIS ARCHITECTS Inspire Good Workspaces for Everyone 101 York T 0115 498 8234 F 0115 498 2222 sr.davis@sr-davis.co.uk	Scale	A3 (2008)
Unit 5 - Plans, Section and Elevations As Proposed	2119/PA/12	Discipline	Planning

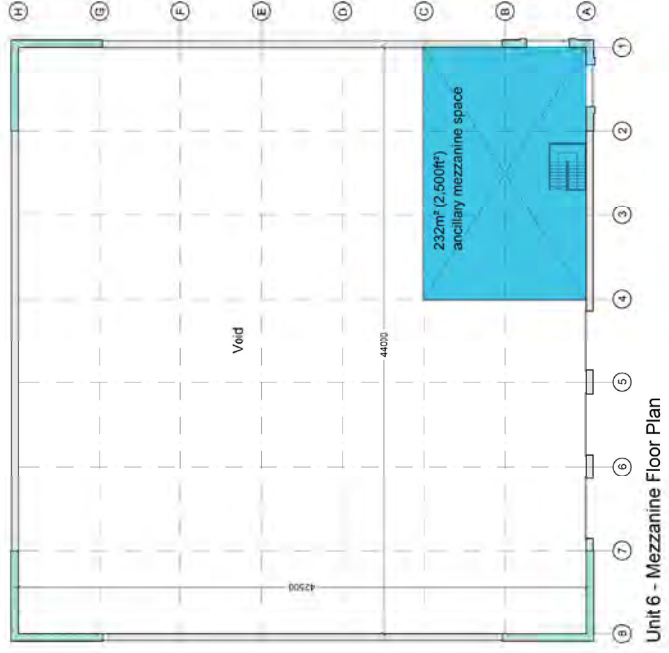
**Notes:**  
 Drawing based on a full topographic survey.  
 Corrections to show dimensions and notify any discrepancies or errors to the company, immediately.  
 Work to figured dimensions only. Do not scale.  
 © All Rights Reserved.

**Proposed Materials:**

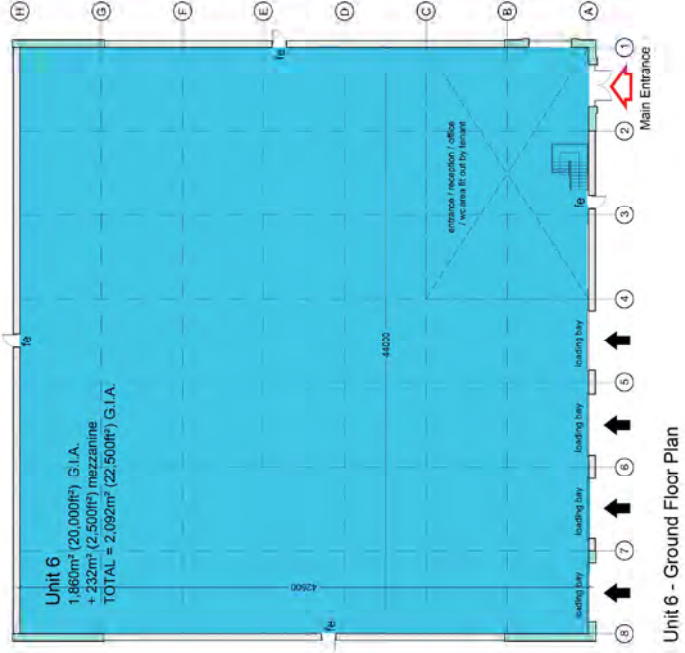
- ① Profile cladding including preformed corners (Colour: dark grey)
- ② Profile cladding including preformed corners (Colour: light grey)
- ③ Flat panel cladding (Colour: feature colour to corner area)
- ④ Flat panel cladding (Colour: light grey / silver)
- ⑤ Flat panel cladding (Colour: dark grey corner area)
- ⑥ PPC aluminium framed double glazed doors / windows / skylight (Colour: dark grey)
- ⑦ Proprietary steel doorsets (Colour: light or dark grey to match cladding)
- ⑧ Profiled roof cladding with proprietary rooflights (Colour: dark grey)
- ⑨ Secret fixed PPC aluminium fascias and trims (Colour: dark grey)
- ⑩ Up and over insulated sectional door (Colour: dark grey)
- ⑪ Profiled cladding including preformed corners (Colour: light green)
- ⑫ Profiled cladding including preformed corners (Colour: dark green)



Unit 6 - Roof Plan



Unit 6 - Mezzanine Floor Plan



Unit 6 - Ground Floor Plan



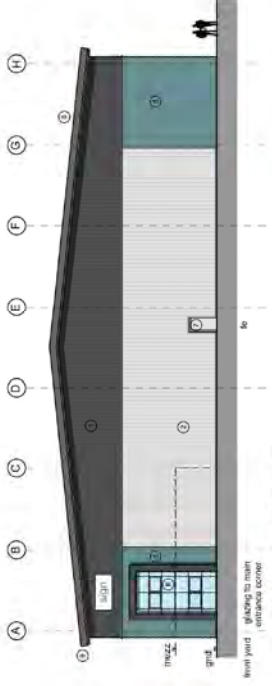
Key Plan (1:1250)

<b>S R DAVIS ARCHITECTS</b> Registered Civil Engineers Registered for Professional Services 181 York Street T 031 493 8234 F 031 492 2222 <a href="http://www.srdavis.com.au">www.srdavis.com.au</a>	<b>Chase</b> Project <b>Stoke Road</b> <b>Bishops Cleeve</b> T14	MAF BRD
	Unit Fabricator Date Description	Drawn Checked Date Issue
<b>Unit 6 - Plans As Proposed</b>		2119/PA/13 A

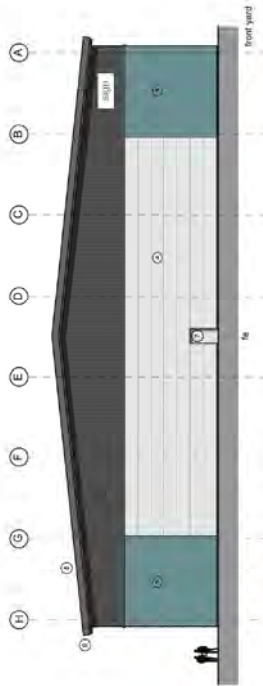
**Notes:**  
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**Proposed Materials:**

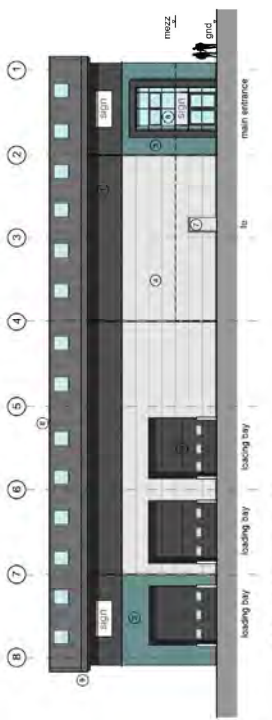
- ① Profiled cladding including preformed corners (Colour: dark grey)
- ② Profiled cladding including preformed corners (Colour: light grey)
- ③ Flat panel cladding (Colour: feature colour to corner area)
- ④ Flat panel cladding (Colour: light grey / silver)
- ⑤ Flat panel cladding (Colour: dark grey corner area)
- ⑥ PPC aluminium framed double glazed doors / windows / skylight (Colour: dark grey)
- ⑦ Proprietary steel cornices (Colour: light or dark grey to match cladding)
- ⑧ Profiled roof cladding with proprietary rooflights (Colour: dark grey)
- ⑨ Secret fixed PPC aluminium flashings and trims (Colour: dark grey)
- ⑩ Up and over insulated sectional door (Colour: dark grey)
- ⑪ Profiled cladding including preformed corners (Colour: light green)
- ⑫ Profiled cladding including preformed corners (Colour: dark green)



**Unit 6 - North Elevation  
 (facing Unit 4)**



**Unit 6 - South Elevation  
 (facing Stoke Road)**



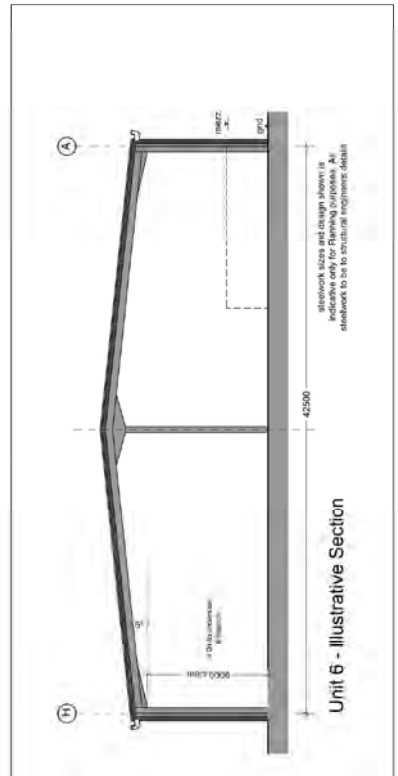
**Unit 6 - East Elevation  
 (facing Fairmont Street)**



**Unit 6 - West Elevation  
 (facing Unit 7)**



**Key Plan (1:1250)**



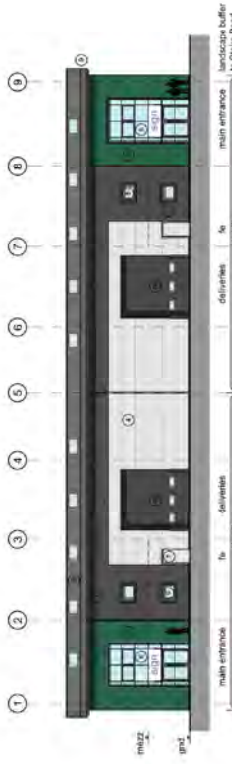
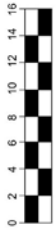
**Unit 6 - Illustrative Section**

 SR DAVIS ARCHITECTS 10000 Highway 104 Suite 1000 Richmond, BC V6V 2G9 Tel: 604.273.4444 Fax: 604.273.4445 www.srdavis.ca		 Chase CONSULTANTS Stoke Road Bishops Cleeve TEL: 416.483.8234 P: 416.482.2222 info@chaseconsultants.com	
Client	SR DAVIS ARCHITECTS	Drawn	Checked
Project	Stoke Road Bishops Cleeve	Date	17/02/2014
Unit	Unit 6: Elevations & Section	Scale	As Proposed
Rev.	Date	Description	Drawn / Checked
		Doc No.	2119/PA/14
		Rev.	A

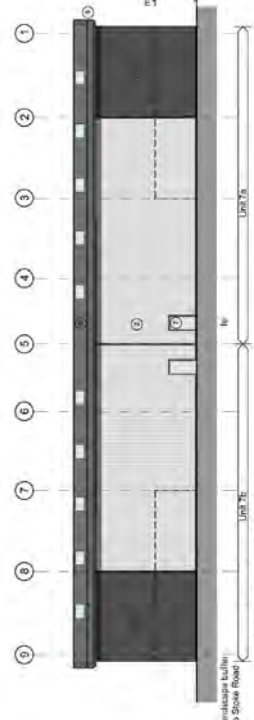
**Notes:**  
 Drawing based on a full topographic survey.  
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 Work to figured dimensions only. Do not scale.  
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**Proposed Materials:**

- ① Profiled cladding including preformed corners (Colour: dark grey)
- ② Profiled cladding including preformed corners (Colour: light grey)
- ③ Flat panel cladding (Colour: feature colour to corner areas)
- ④ Flat panel cladding (Colour: light grey / silver)
- ⑤ Flat panel cladding (Colour: dark grey corner areas)
- ⑥ PPC aluminium framed double glazed doors / windows / skylight (Colour: dark grey)
- ⑦ Proprietary steel corners (Colour: light or dark grey to match cladding)
- ⑧ Profiled roof cladding with proprietary rooflights (Colour: dark grey)
- ⑨ Secret fixed PPC aluminium flashings and trims (Colour: dark grey)
- ⑩ Up and over installed sectional door (Colour: dark grey)



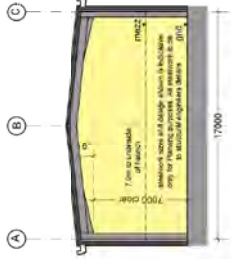
**Unit 7 - West Elevation**  
 (facing new access road)



**Unit 7 - East Elevation**  
 (facing Unit 6)



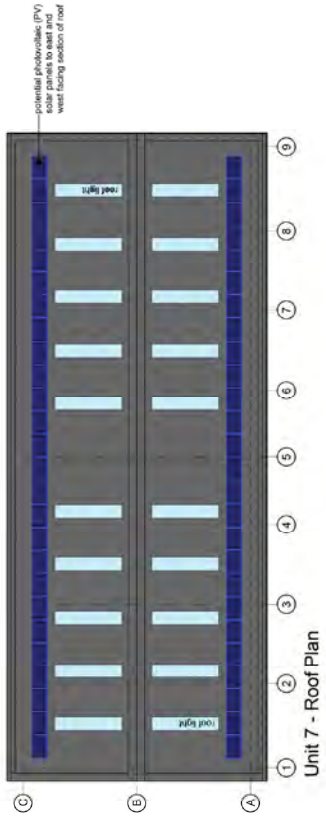
**Unit 7 - South Elevation**  
 (facing Stoke Road)



**Unit 7 - Illustrative Section**



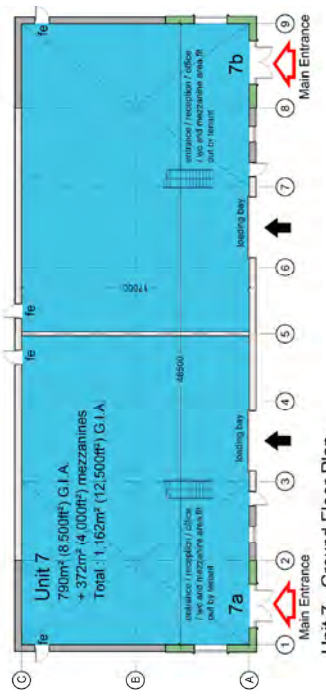
**Key Plan (1:1250)**



**Unit 7 - Roof Plan**



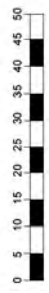
**Unit 7 - Mezzanine Floor Plan**



**Unit 7 - Ground Floor Plan**

Client	Chase COMMERCIAL LIMITED	Drawn	Checked
Project	Stoke Road Bishops Cleeve		
Architect	S R DAVIS ARCHITECTS Incorporated in the Republic of Ireland 100, The Arcade Bristol, Avon BS1 1JF, UK T: 01454 483 824 F: 01454 482 222 Consulting@sr-davis.co.uk		
Unit 7 - Plans, Section and Elevations As Proposed			
Drawn		Checked	SRD
Date	08/2023	Scale	1:200 (PA)
Project No.	2119/PA/15		

**Notes:**  
 Drawing based on information provided by client only, which is subject to a full topographical survey.  
 Contractors to check dimensions and verify any discrepancies to errors to the company responsibility.  
 Work to figured dimensions only. Do not scale.  
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- Boundary Treatment**
- 4m high Jacksons Acoustic Fence (or similar approved as advised by Acoustic Consultant)
  - 3m high Jacksons Acoustic Fence (or similar approved as advised by Acoustic Consultant)
  - 1.1m high treated timber post and 3 rail fence
  - 2.4m high black colour coated Paladin fencing to secure yard with matching sliding gates
  - 450mm high 180x100 pressure treated SW trip rail with zinc strapped birdmouth configuration

Rev.	Date	Description	Drawn	Checked
C	15/05/24	Acoustic fence to West Boundary amended to 4m	MAF	SRD
B	02/05/24	Acoustic fence height amended to 3m	MAF	SRD
A	25/06/23	Landscaping amended to reflect BCA design	MAF	SRD

**S R DAVIS ARCHITECTS**  
 110, The Arcade, Bishopscleeve, Stoke Road, Bishopscleeve, Stoke Newington, London N16 7JH  
 T 0203 488 8284  
 F 0203 488 2222  
 E sr.davis@sr-davis.co.uk

**Chase**  
 PROJECT  
 Stoke Road  
 Bishopscleeve

Client: **Chase**  
 Project: **Stoke Road Bishopscleeve**  
 Title: **Boundary Treatment Plan**

Drawn: **JR** Checked: **SRD**  
 Date: **04/02/2024** Scale: **1:5000**  
 Status: **Planning**

Draw No: **2119/PA/16**  
 Rev: **D**



CONTRACT NO. XXX FOR THIS DRAWING  
SCALE 1:500

NOTES:  
Based on:  
S.R. DAVIES ARCHITECTS (Pty) Ltd  
• (C1189)P&A(1) Administrative Site Plan  
Complete Design Partnership, consulting, civil & structural engineering  
• (21-8316-58000 Rev P1) Earthworks Layout  
• (21-8316-58000 Rev P1) Drainage Strategy  
Refer to BCA slip no. XXX-BCA-ELSA-XD-2245-23-02 for Illustrative Boundary Cross Section.



Common Name	Size	Age	Rooting	Size
Common Name	Size	Age	Rooting	Size
Common Name	Size	Age	Rooting	Size

Common Name	Size	Age	Rooting	Size
Common Name	Size	Age	Rooting	Size

Common Name	Size	Age	Rooting	Size
Common Name	Size	Age	Rooting	Size

Common Name	Size	Age	Rooting	Size
Common Name	Size	Age	Rooting	Size

Common Name	Size	Age	Rooting	Size
Common Name	Size	Age	Rooting	Size

Common Name	Size	Age	Rooting	Size
Common Name	Size	Age	Rooting	Size

Common Name	Size	Age	Rooting	Size
Common Name	Size	Age	Rooting	Size

KEY

- Existing Hedgerow and Trees
- Grass
- Shrubs

EXISTING HEDGEROW AND TREES  
To be retained in situ. To be replaced with native species as detailed in the notes.

EXTRA HEAVY STANDARD TREES  
To be retained in situ. To be replaced with native species as detailed in the notes.

HEAVY STANDARD TREES  
To be retained in situ. To be replaced with native species as detailed in the notes.

MIXED SPECIES NATIVE HEDGEROW  
To be installed in a double staggered row. Rows to be 500mm apart.

TALL ORNAMENTAL SHRUB PLANTING  
To be installed in a double staggered row. Rows to be 500mm apart.

GRASS SEEDING AREAS  
To be sown with a mix of native grasses at a rate of 35-50g/m<sup>2</sup>.

SCALE 1:500  
SCALE 1:1

FAIRMOND'S STREET  
STOKE ROAD

05	Specialist Services/Supply of Plants	MM	14/02/24
06	Design Development	HC	15/02/24
07	Final Design	HC	20/02/24
08	Approved for Planning	HC	14/01/24
09	Approved for Building	HC	14/01/24
10	Construction	BY	03/02/24

**BCA DESIGN**  
Landscape Architects

CLIENT:  
CHASE COMMERCIAL LTD

PROJECT:  
LAND AT STOKE ROAD,  
BISHOPS CLEEVE

DRAWING TITLE:  
LANDSCAPE CONCEPT  
PROPOSAL

CONTRACT NUMBER: 2245-23  
DATE: 23/02/24  
DRAWING STAGE: PLANNING  
CAD REFERENCE: 2245-23-01  
DRAWN BY: HC  
CHECKED BY: MM  
SCALE: 1:500  
ORIGINAL SHEET: A1  
PROJECT MANAGER: ELA  
DESIGNER: XXX-BCA-ELSA-XD-2245-23-02  
DATE: 23/02/24

TIMBER BENCHES  
To be installed in a double staggered row. Rows to be 500mm apart.

UNIT 1 BOUNDARY  
To be installed in a double staggered row. Rows to be 500mm apart.

APPLICATION BOUNDARY  
To be installed in a double staggered row. Rows to be 500mm apart.

LAND ALLOCATED FOR FAIRMOND'S TRACK  
To be installed in a double staggered row. Rows to be 500mm apart.

WATER MAIN ALIGNMENT  
To be installed in a double staggered row. Rows to be 500mm apart.

SELF BOUND GRAVEL PATHWAY  
To be installed in a double staggered row. Rows to be 500mm apart.

GRASS SEEDING AREAS  
To be sown with a mix of native grasses at a rate of 35-50g/m<sup>2</sup>.

SLOPE  
To be installed in a double staggered row. Rows to be 500mm apart.

EASEMENT ZONE  
To be installed in a double staggered row. Rows to be 500mm apart.

LAND ALLOCATED FOR FAIRMOND'S TRACK  
To be installed in a double staggered row. Rows to be 500mm apart.

WATER MAIN ALIGNMENT  
To be installed in a double staggered row. Rows to be 500mm apart.

SELF BOUND GRAVEL PATHWAY  
To be installed in a double staggered row. Rows to be 500mm apart.

GRASS SEEDING AREAS  
To be sown with a mix of native grasses at a rate of 35-50g/m<sup>2</sup>.

GRASS SEEDING AREAS  
To be sown with a mix of native grasses at a rate of 35-50g/m<sup>2</sup>.

SPECIES RICH GRASSLAND SEEDED AREAS  
To be sown with a mix of native grasses at a rate of 35-50g/m<sup>2</sup>.

R&B AREAS  
To be sown with a mix of native grasses at a rate of 35-50g/m<sup>2</sup>.

ACQUATIC FENCE - 2m Height  
To be installed in a double staggered row. Rows to be 500mm apart.

POST AND RAIL FENCE - 1.1m Height  
To be installed in a double staggered row. Rows to be 500mm apart.

SECURITY FENCE - 2.4m Height  
To be installed in a double staggered row. Rows to be 500mm apart.

GRASS SEEDING AREAS  
To be sown with a mix of native grasses at a rate of 35-50g/m<sup>2</sup>.

GRASS SEEDING AREAS  
To be sown with a mix of native grasses at a rate of 35-50g/m<sup>2</sup>.

LOW ORNAMENTAL SHRUB PLANTING  
To be installed in a double staggered row. Rows to be 500mm apart.

GRASS SEEDING AREAS  
To be sown with a mix of native grasses at a rate of 35-50g/m<sup>2</sup>.

GRASS SEEDING AREAS  
To be sown with a mix of native grasses at a rate of 35-50g/m<sup>2</sup>.

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GRASS SEEDING AREAS  
To be sown with a mix of native grasses at a rate of 35-50g/m<sup>2</sup>.



SECTION LOCATION PLAN - NTS



KEY

**PROPOSED GROUND PROFILE**  
Shown as illustrative only. Proposed levels plan not yet available.

**PROPOSED VEGETATION**  
Shown as illustrative only. Proposed design to be developed in planning proposal 2245-23-01 'Landscape Concept Proposal'  
**EXISTING OFF SITE VEGETATION**  
Shown as illustrative only.

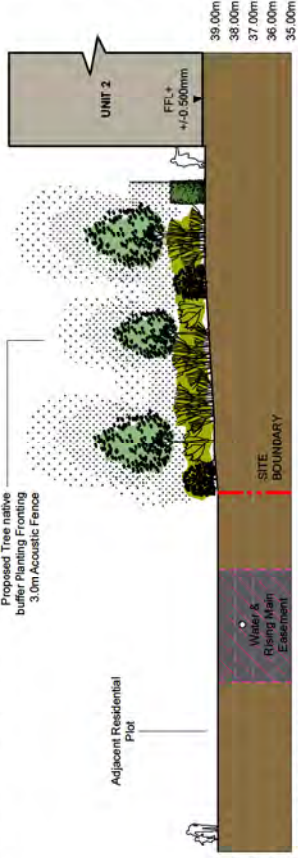
NOTES:

- Based on S R DAVIES ARCHITECTS dig no(s) (21)BPAPUS Rev A 'Proposed Site Plan'
- Complete Design Partnership, consulting, O&M & structural engineers dig no(s): (22-8316-SH0002 Rev P1 'Earthworks Layout') (21-8316-SH0010 Rev P1 'Drainage Strategy')
- Refer to BCA dig no XXXX-BCA-ELS-XX-DR-2245-23-01 Rev M4 for 'Landscape Concept Proposal'

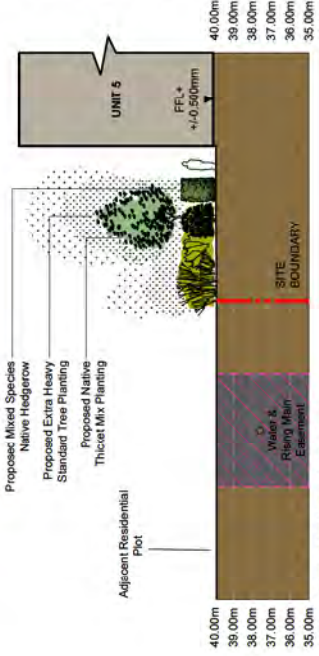
CD	Sections submitted following LPA review	HC	LM6	12/03/24
CE	Sections submitted following LPA review	ME	LM6	08/05/24
CF	Revised following	PC	LM6	14/11/23
CG	Final Design	SP	1	12/03/24



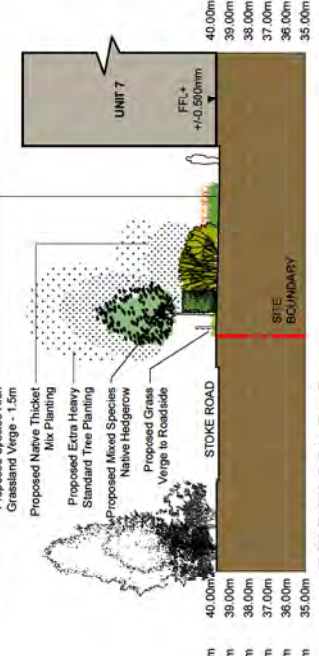
CLIENT	CHASE COMMERCIAL LTD
PROJECT	LAND AT STOKE ROAD, BISHOPS CLEEVE
DRAWING TITLE	ILLUSTRATIVE BOUNDARY SECTIONS
CONTRACT NUMBER	2245-23
DATE	20-04-23
DRAWING STATUS	PLANNING
CAD REFERENCE	2245-23-02
DRAWN BY	HC
CHECKED BY	MB
SCALE	1:200 (ORIGINAL SHEET)
PROJECT NUMBER	1200
ISSUE	1
DATE	21/03/24
BY	AZ
XXX	BCA ELS XX DR L 2245-23-02 S5 03



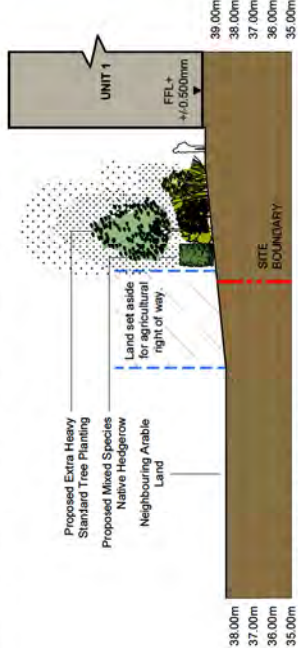
**SECTION B-B**  
SCALE 1:200



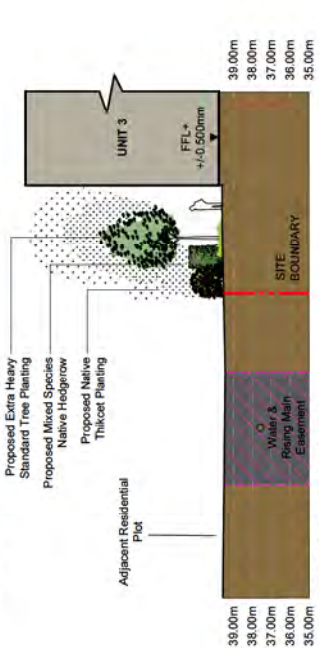
**SECTION D-D**  
SCALE 1:200



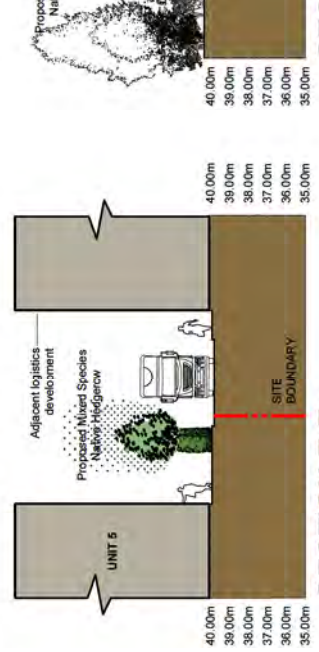
**SECTION G-G**  
SCALE 1:200



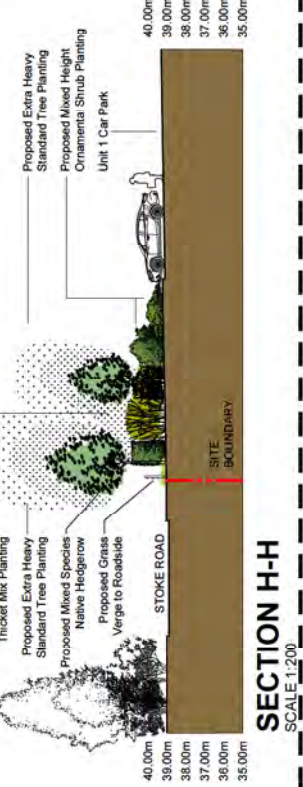
**SECTION A-A**  
SCALE 1:200



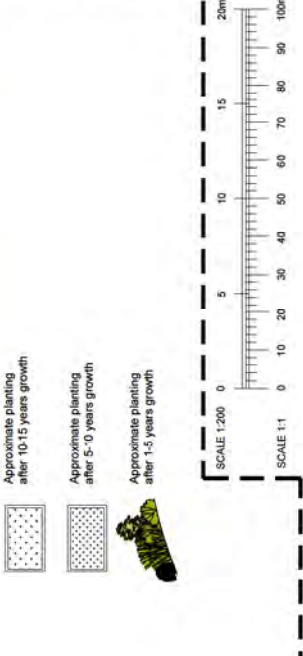
**SECTION C-C**  
SCALE 1:200



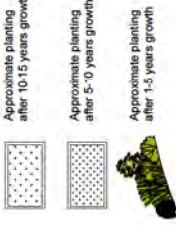
**SECTION E-E**  
SCALE 1:200



**SECTION F-F**  
SCALE 1:200



**SECTION H-H**  
SCALE 1:200





Illustrative Visual - details subject to change





PROPOSED COMMERCIAL DEVELOPMENT • LAND AT STOKE ROAD, BISHOP'S CLEEVE  
VIEW B



PROPOSED COMMERCIAL DEVELOPMENT • LAND AT STOKE ROAD, BISHOP'S CLEEVE  
VIEW C



PROPOSED COMMERCIAL DEVELOPMENT • LAND AT STOKE ROAD, BISHOP'S CLEEVE  
VIEW D



Approximate planting  
after 10-15 years growth



Approximate planting  
after 5-10 years growth



Approximate planting  
after 1-5 years growth



Proposed Extra Heavy  
Standard Tree Planting

Proposed Mixed Species  
Native thicket

Proposed Mixed Species  
Native Hedgerow

Neighbouring Arable  
Land

Land set aside  
for agricultural  
right of way.

4m high  
acoustic fence

SITE  
BOUNDARY

39.00m  
38.00m  
37.00m  
36.00m  
35.00m

38.00m  
37.00m  
36.00m  
35.00m

# Section through Unit 1 Service yard

SCALE 1:200

